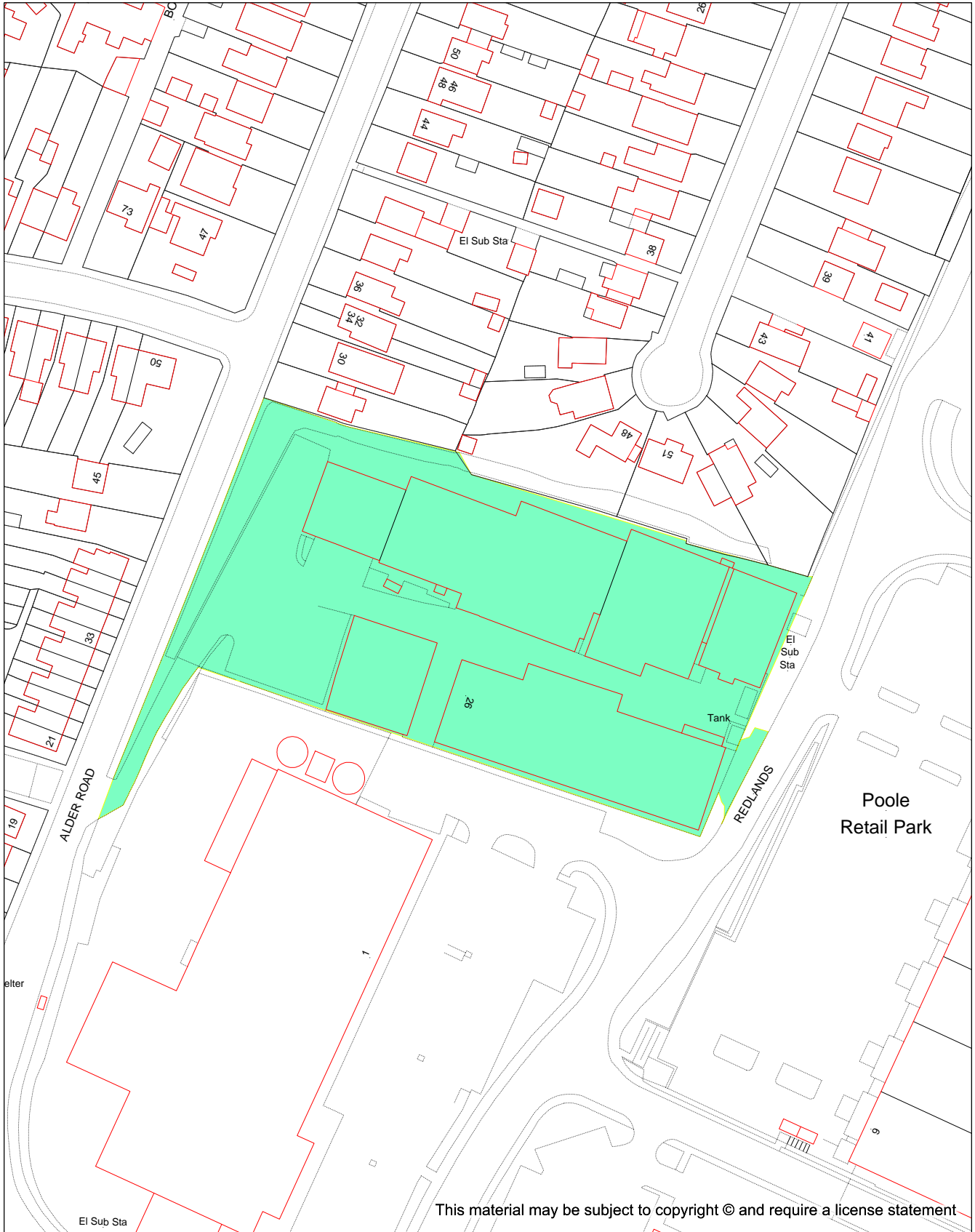


# Parrs Confectionery



This material may be subject to copyright © and require a license statement



# Cadcorp®

Sterling Court  
Norton Road  
Stevenage  
Herts SG1 2JY  
United Kingdom

Tel : +44 (0)1438 747996  
Fax : +44 (0)1438 747997  
E-mail: [info@cadcorp.com](mailto:info@cadcorp.com)

Operator:	Name
Department:	Department
Drawing No:	1234-A
Date: 18/08/2020	Scale: 1:1250

ABBREVIATIONS			
Ave	Average	LB	Letter Box
AV	Air Valve	Lit	Litter Bin
BB	Belisha Beacon	LP	Lamp Post
Bol	Bollard	MH	Manhole
BL	Bollard Light	MK	Marker
Box	BT/Elec	NP	Name Plate
BS	Bus Stop	O/H	Overhead (Elec/Tele)
BT	Telecom IC	OSBM	Ordnance Survey BM
CATV	Cable Television IC	PARA	Parapet
CCTV	Closed Circuit Camera	Pav	Paved
CL	Cover Level	PM	Parking Meter
Conc	Concrete	RE	Rodding Eye
DC	Drainage Channel	RL	Ridge Level
DH	Ditch	RS	Road Sign
DII	Disipulated	RSJ	Rollled Steel Joint
DK	Drop Kerb	SA	Soakaway
DN	Drain	SD	Slot Drain
EL	Eaves Level	Sen	Traffic Sensors
EP	Electricity Pole	SP	Sign Post
ER	Earthing Rod	ST	Water Stop Tap
FB	Footbridge	SV	Water Stop Valve
FESc	Fire Escape	SY	Stay
FL	Floor Level	Tac	Tactile Paving
Flt	Floodlight	TCB	Telephone Call Box
FS	Flagstaff	TS	Traffic Signal
FH	Fire Hydrant	TP	Telephone Pole
Gab	Gabions	Veg	Vegetation
GM	Gas Meter	VP	Vent Pipe
GV	Gas Valve	WL	Water Level
GY	Gully	WM	Water Meter
HR	Hand Rail	WO	Wash Out
IC	Inspection Cover	WP	Wooden Peg
IL	Invert Level		
KO	Kerb Outlet		
Drainage			
FW	Foul Water	SW	Surface Water
Com	Combined Storm/Foul	BD	Back Drop
225mm	Pipe Diameter	UTL	Unable To Lift
Fences / Walls			
CB	Crash Barrier	HR	Hand Rail
BWF	Barbed Wire	PRF	Post And Rail
CBF	Close Boarded	PWF	Post & Wire
CLF	Chain Link	PLF	Panel Fence
IR	Iron Railings	SR	Steel Railings
TR	Trellis	SPF	Steel Palisade
BW	Brick Wall	BLK	Block Wall
RW	Retaining Wall	Ren	Rendered Wall
SW	Stone Wall	(1.8m)	Height of Wall/Fence

Existing trees/ hedgerow retained  
(refer to Tyler Grange information)

Canopy

Root protection zone

Trees removed (Please  
see arboricultural report for  
full details)

#### NOTE:

This drawing is based on Berry  
Geomatics Topographical Survey  
dated 05/02/18

Service routes omitted for clarity



Chartered Architects  
Chartered Building Surveyors  
Interior Designers  
CDM Co-ordinators

Glenworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk

Project  
ALDI Food Store and Coffee Shop  
Alder Road, Poole

Client  
Aldi Stores Ltd

Scale 1:250  
Paper Size A1  
Filename 170727-Planning.vwx  
© Copyright Do not scale this drawing

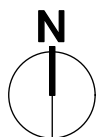
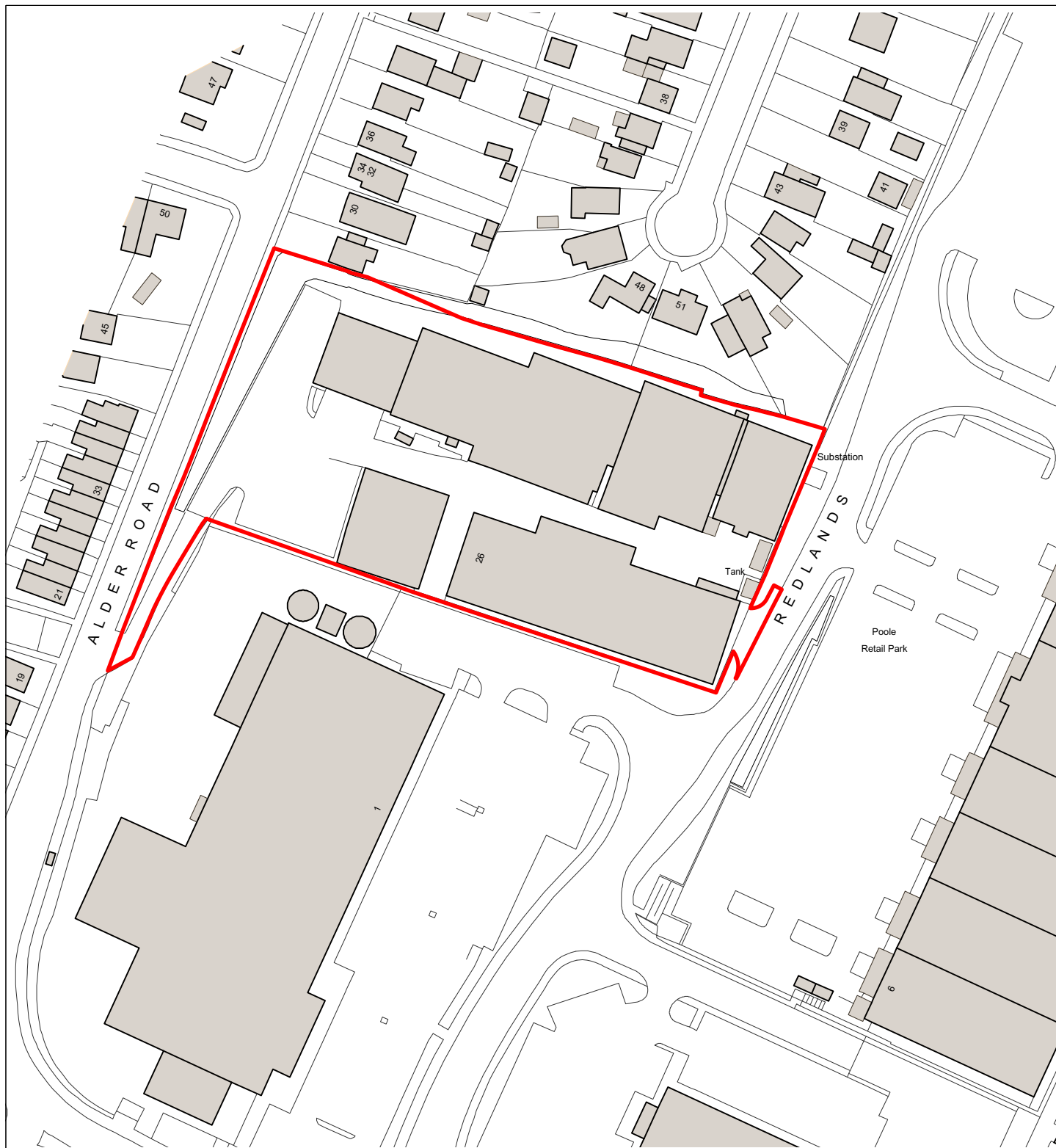
P116/06/20 JKCMW Drawing Issue  
Rev. Date By Ap Note

Drawing Title  
Site Plan As Existing

Project No.	Drawing No.	Rev.	
170727-1150	P1		
Date	Drawn	Checked	Status
16/06/20	JKC	MW	PLANNING
Check all dimensions and levels on site.			

Only to be used on the site for which designed. The electronic transmission of design information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. will have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the user design information by the user is entirely the responsibility of the user and Kendall Kingscott Ltd. shall have no responsibility to report amended information.





0 10 20 30 40 50 M  
Scale 1:1250 @ A4

#### Site Application Area:

8,459 msq  
2.09 acres



#### Site Address:

26 Alder Road,  
Poole,  
BH12 2AQ



**Kendall Kingscott**

**Chartered Architects**  
**Chartered Building Surveyors**  
**Interior Designers**  
**CDM Co-ordinators**

Glentworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk

Project

**ALDI Food Store and Coffee Shop**  
**Alder Road, Poole**

Client

**Aldi Stores Ltd**

Scale

**1:1250**

Paper Size  
**A4**

Filename

**170727-Planning.vwx**

© Copyright.

Do not scale this drawing.

P123/06/20 JKCMW Drawing Issue

Rv. Date By Ap Note

Drawing Title

**Site Location Plan**

Project No.

**170727-1100**

Drawing No.

Rev.

**P1**

Date

**16/06/20**

Drawn

**JKC**

Checked

**MW**

Status

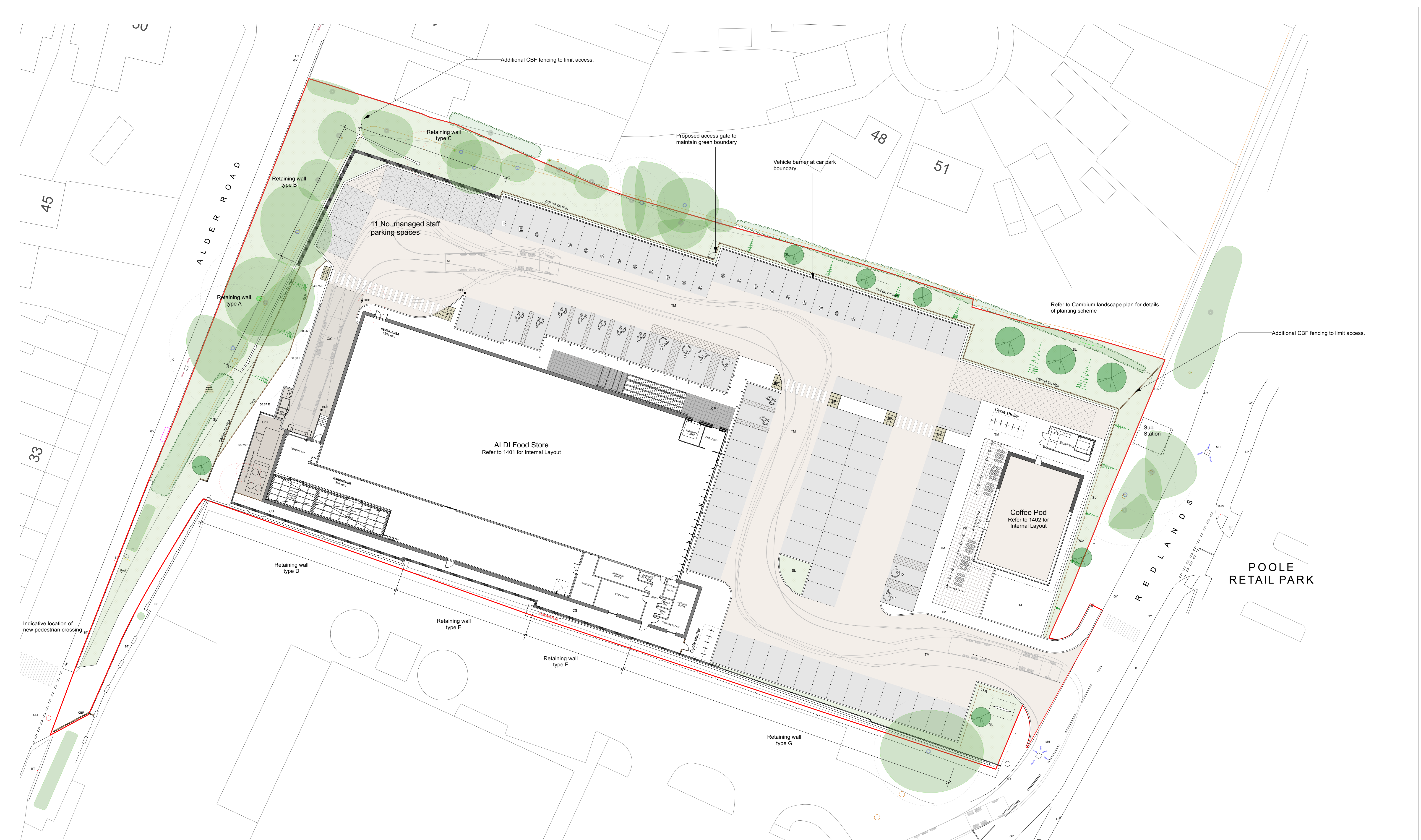
**PLANNING**

Check all dimensions and levels on site.

Only to be used on the site for which designed. The electronic transmission of designs/information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. will have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the said designs/information by the User is entirely the responsibility of the User and Kendall Kingscott Ltd. shall have no responsibility in respect thereof whatsoever.







**Retaining Wall Key:**

**A** - Existing boundary wall retained

**B** - New retaining wall constructed inside existing boundary wall. New wall to increase in height towards northwest corner rising to minimum 0.9m above height of existing surface finish. Wall to be built off new foundations extended from existing boundary foundations. New vehicle barrier installed.

**C** - New 0.5m - 0.75m high retaining wall built within area of existing hard landscaping. Vehicle restraint in front.

**D** - New 1.2m high retaining wall built in front of existing boundary wall. Finished with painted fair-faced blockwork. (Temporary propping required.)

**E** - New 1.2m retaining wall built in place of existing building. Finished with painted fair-faced blockwork. (Temporary propping required between site boundary and existing foundations required.)

**F** - New 1.0m retaining wall built in front of existing dilapidated wall. Finished with painted fair-faced blockwork.

**G** - Car park to abut existing 1m high masonry retaining wall along length of car park. Allow for additional 100mm fair-faced brickwork wall in front of existing wall where required.

**Key:**

Application Area

Denotes hatched road markings for disabled bay and Costa service area

New Tarmacadam Surfacing to Car Park (TM)

Parking bays Tarmacadam Surface

Denotes Marshalls Conservation Paving - Aldi shopfront

Denotes Marshalls' Perfecta paving to Coffee pod shopfront, colour 'natural'

Denotes parking space with electrical charging

Denotes space with infrastructure for future conversion to charging space

Concrete Slabs

Concrete Surface (C/C)

Surface finish with soft landscaping

Blister Paving

Banking

Close boarded fence (CBF)

CBF(a) - Denotes 2m high acoustic fence

Timber Knee Rail

Stainless steel bollard

Heavy duty bollard

Existing trees/hedgerow retained (refer to Tyler Grange information)

Canopy

Root protection zone

Trees removed (Please see arboricultural report for full details)

Denotes new tree (Refer to Cambium drg. for details)

Denotes position of Stag beetle loggery in accordance with Ecologist recommendations

Refer to building elevations for the position of Swift nest boxes

**Parking Figures:**

**Total - 112 Spaces**

Standard - 86 Spaces

Parent & Child - 9 Spaces

Disabled - 6 Spaces

Staff - 11 Spaces

Scale = 1:250 @ A1

**Kendall Kingscott**

Chartered Architects  
Chartered Building Surveyors  
Interior Designers  
CDM Co-ordinators

Glentworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk

Project: **ALDI Food Store and Coffee Shop Alder Road, Poole**

Client: **Aldi Stores Ltd**

Scale: **1:250** Paper Size: **A1** Filename: **170727-Planning.vwx**

© Copyright Do not scale this drawing

Plan updated to align landscaping proposal with latest arboricultural impact assessment.

P1 16/06/20 JKC/MW Drawing Issue

Rv: Date By Ap Note

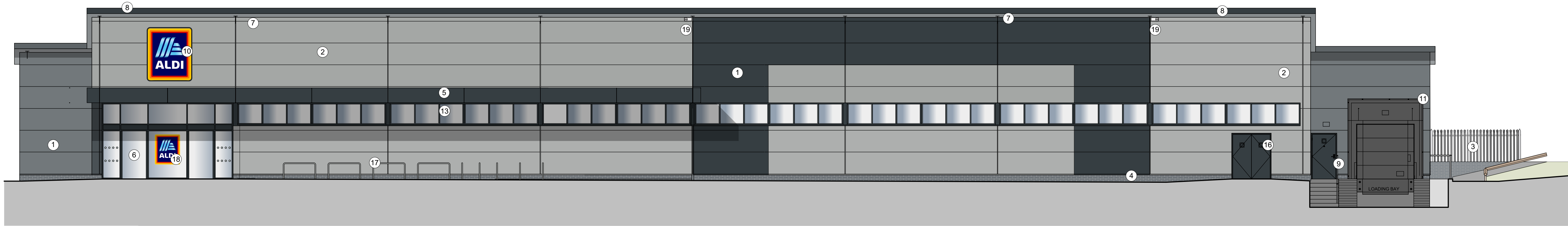
Drawing Title: **Site Plan As Proposed**

Project No: **170727-1400** Drawing No: **P2**

Date: **16/06/20** Drawn: **JKC** Checked: **MW** Status: **PLANNING**

Check all dimensions and levels on site.

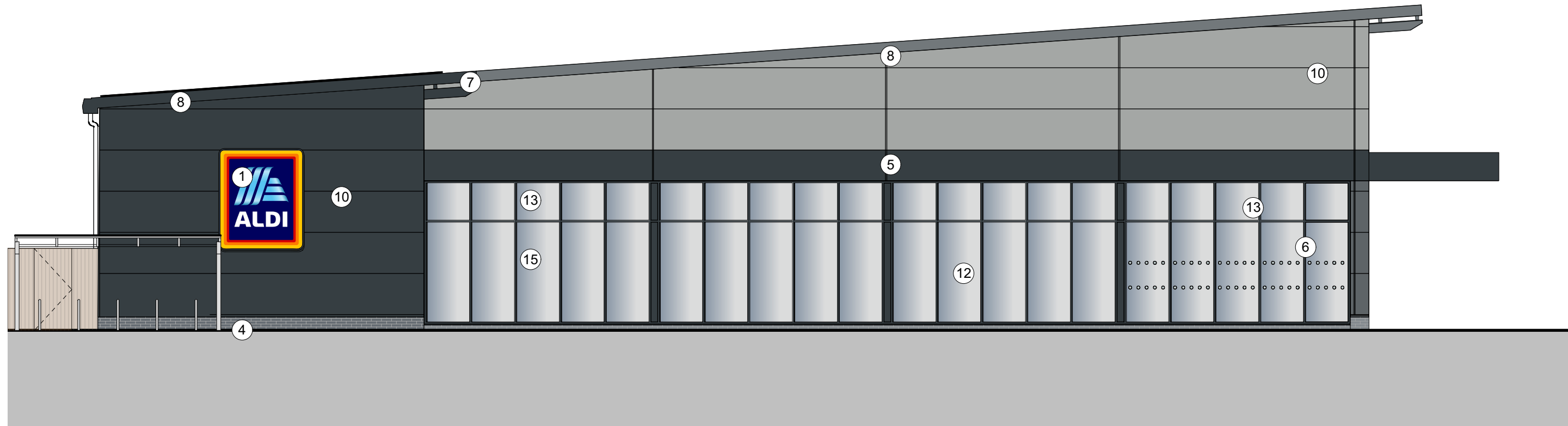




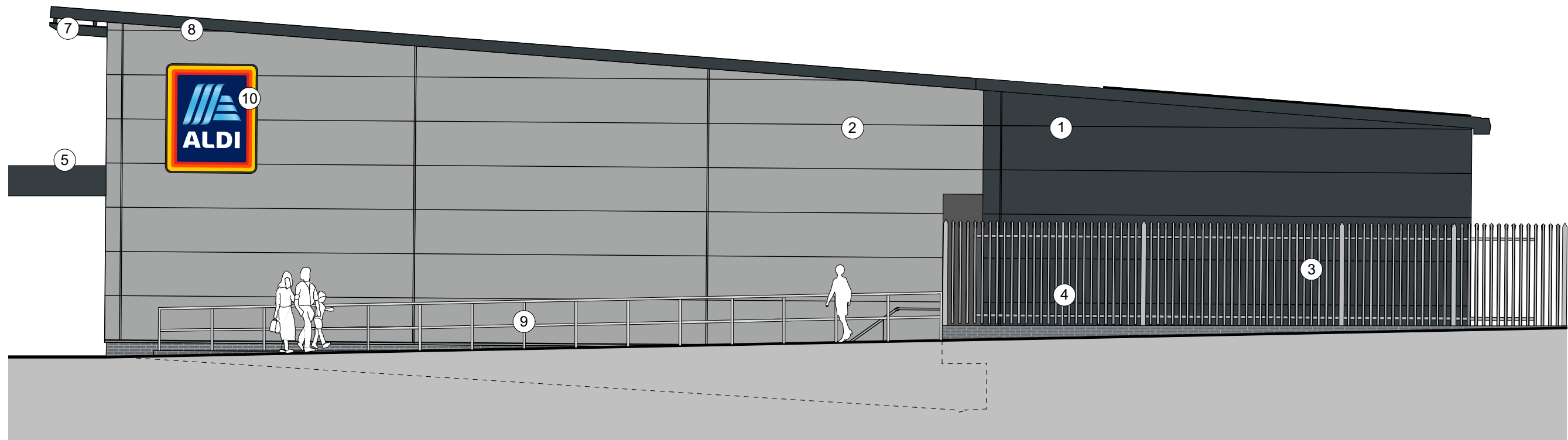
NORTH ELEVATION



SOUTH ELEVATION



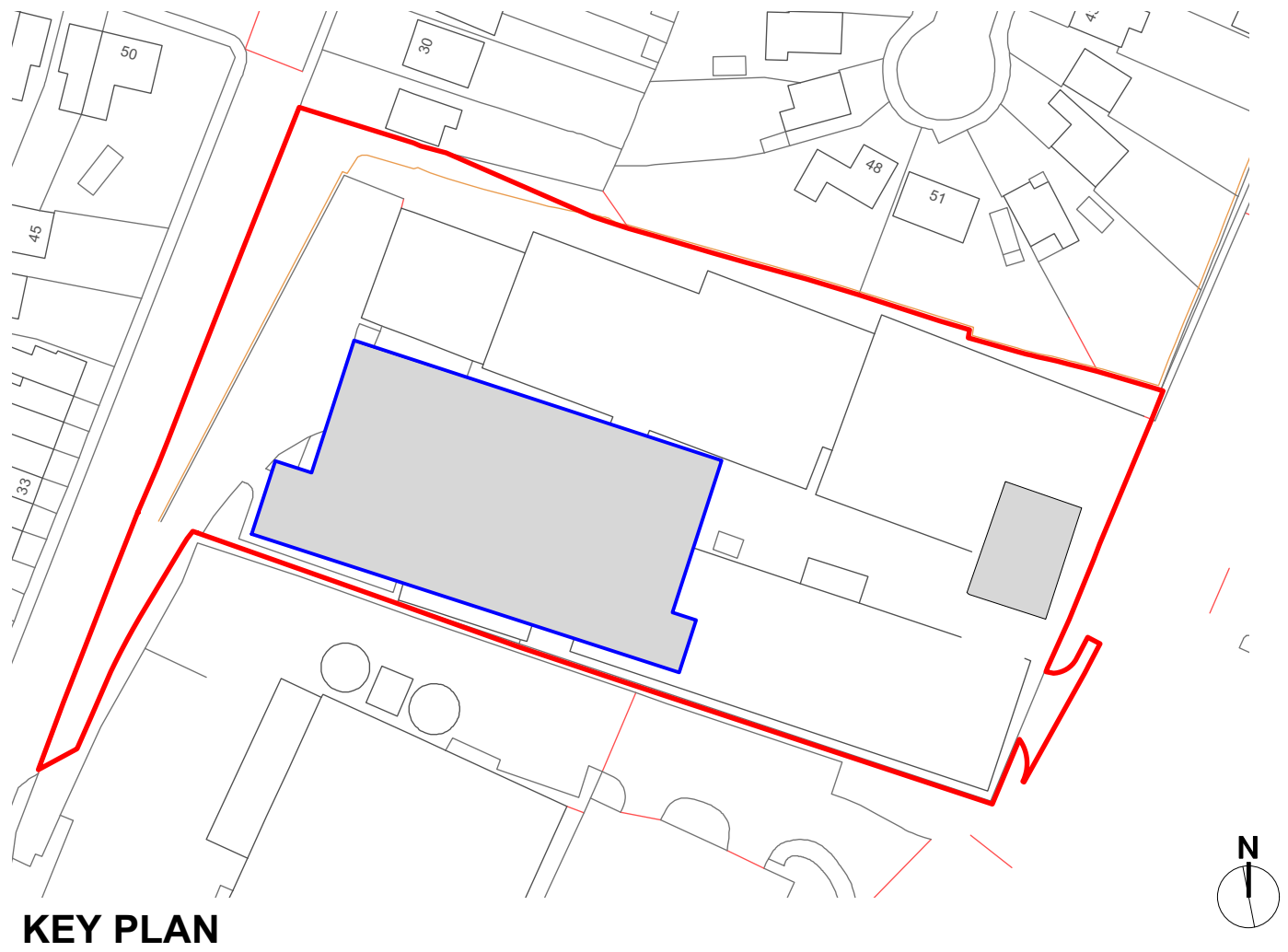
EAST ELEVATION



WEST ELEVATION

Notes

1. Kingspan KS1000MR anthracite grey cladding RAL 7016
2. Kingspan KS1000MR metallic silver cladding RAL 9006
3. 2.4m high palisade fence enclosure to refrigeration plant equipment with a lockable door. Painted dark grey finish.
4. Brick plinth and facing to plant area retaining walls. Blockleys Brick Ltd 'Charcoal' with tarmac Y14 (Black) coloured mortar.
5. Canopy fascia, 3mm thick Aluminium panels with polyester powder coated finish, colour Anthracite RAL 7016.
6. Entrance - Polyester powder coated aluminium (RAL 7016 anthracite).
7. All exposed steelwork to be painted Steelguard Z44 finish coat to be gloss finish RAL 7016.
8. Fascia. Powder coated aluminium to BS6496, colour anthracite grey RAL 7016.
9. Handrails - galvanised tubular steel
10. Wall mounted internally illuminated logo sign - subject to sepearate advertismtent consent application
11. Sectional overhead door - pvt coated steel (RAL 7016).
12. Aldi poster frame RAL 7016 anthracite grey - subject to sepearate advertismtent consent application
13. Window - High level fixed lights. Frame colour RAL 7016.
14. Roof: Kingspan KS1000RW 80mm thick trapezoidal composite roof panels on purlins. All to anthracite grey RAL 7016.
15. Shopfronts - polyester powder coated aluminium (RAL 7016).
16. Steel escape doors - polyester powder coated colour grey (RAL 7016) (frame colour RAL 7016).
17. Trolley bay rails - satin finish stainless steel.
18. Vinyl Aldi logo sign applied to glazing - subject to sepearate advertismtent consent application
19. Building mounted Swift nest boxes below eaves level in accordance with Ecologist recommendations



KEY PLAN

0 5 7 9 11 13 15 M  
A1 at Scale 1:100



Chartered Architects  
Chartered Building Surveyors  
Interior Designers  
CDM Co-ordinators

Glentworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk

Project  
ALDI Food Store and Coffee Shop  
Alder Road, Poole  
Client  
Aldi Stores Ltd

Scale  
1:100  
Paper Size  
A1  
Filename  
170727-Planning.vwx  
©Copyright  
Do not scale this drawing

03/08/2020 MS MW Cycle shelter indicated.  
P123/06/20 JKC/MW Drawing Issue  
Rv. Date By Ap Note

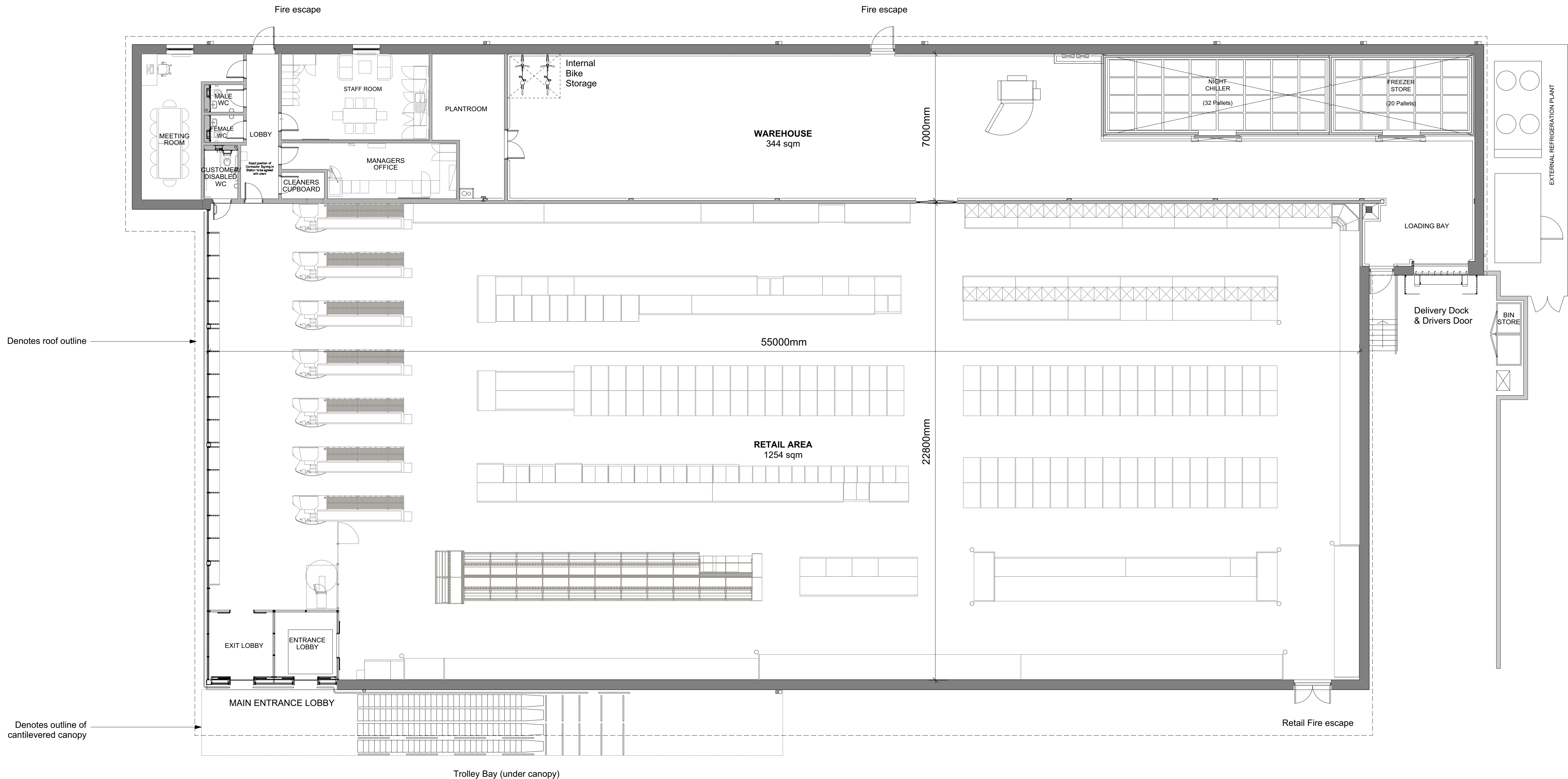
Drawing Title  
Building Elevations - Aldi

Project No.  
170727-1500  
Drawing No.  
P2  
Rev.

Date  
16/06/20  
Drawn  
JKC  
Checked  
MW  
Status  
PLANNING  
Check all dimensions and levels on site.

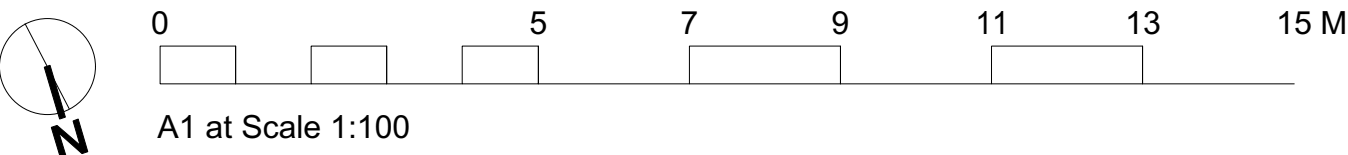
Only to be used on the site for which designed. The electronic transmission of design information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. shall have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the user design information is the User's responsibility and Kendall Kingscott Ltd. shall have no responsibility to respect third party copyright.





Proposed Store GEA	-	1,801 m <sup>2</sup>
Proposed Store GIA	-	1,723 m <sup>2</sup>

NOTES -  
REFER TO DRG 170727-1400 FOR PROPOSED SITE PLAN  
170727-1500 FOR ELEVATIONS



Chartered Architects  
Chartered Building Surveyors  
Interior Designers  
CDM Co-ordinators

Glentworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk



Project: ALDI Food Store and Coffee Shop  
Alder Road, Poole  
Client: Aldi Stores Ltd

Scale: 1:100  
Paper Size: A1  
Filename: 170727-Planning.vwx  
© Copyright: Do not scale this drawing

P206/08/20 MS MW/GEA amended.  
P123/06/20 JK/MW Drawing Issue  
Rv. Date By Ap Note

Drawing Title: Floor Plan - Aldi

Project No.	Drawing No.	Rev.	
170727-1401	P2		
Date	Drawn	Checked	Status
16/06/20	JKC	MW	PLANNING

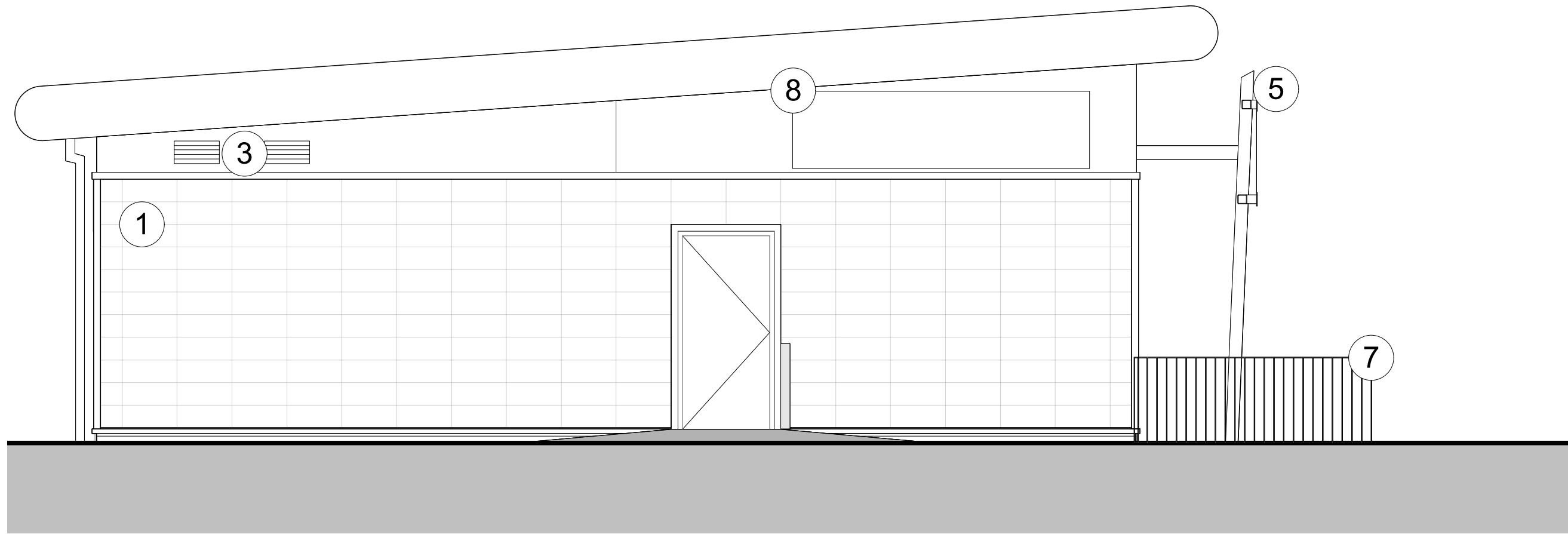
Check all dimensions and levels on site.

Only to be used on the site for which designed. The electronic transmission of design information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. will have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the said design information by the User is entirely the responsibility of the User and Kendall Kingscott Ltd. shall have no responsibility to respect thereof whatsoever.

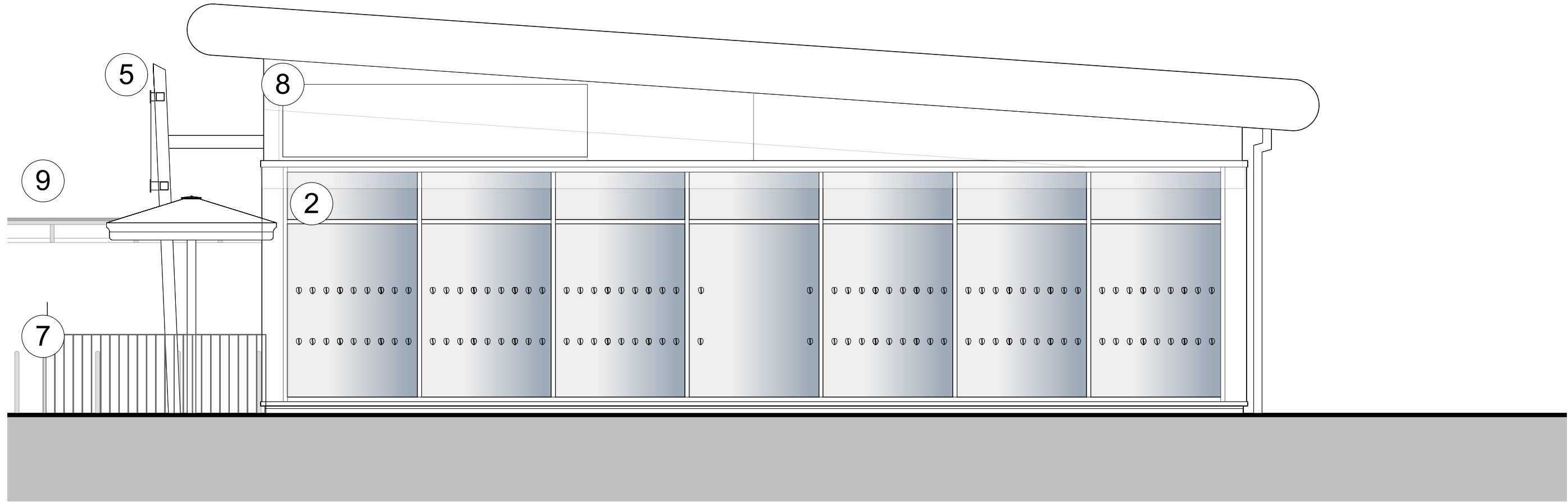




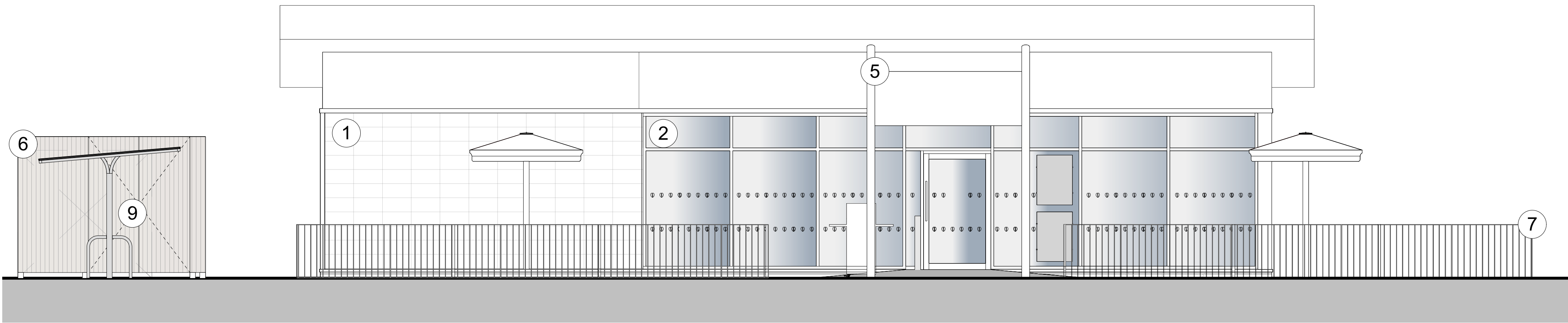




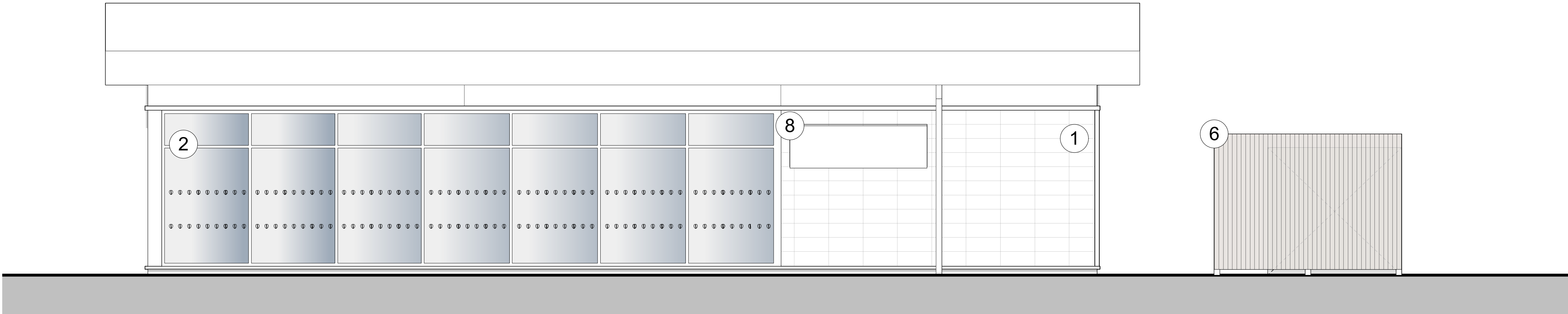
WEST ELEVATION



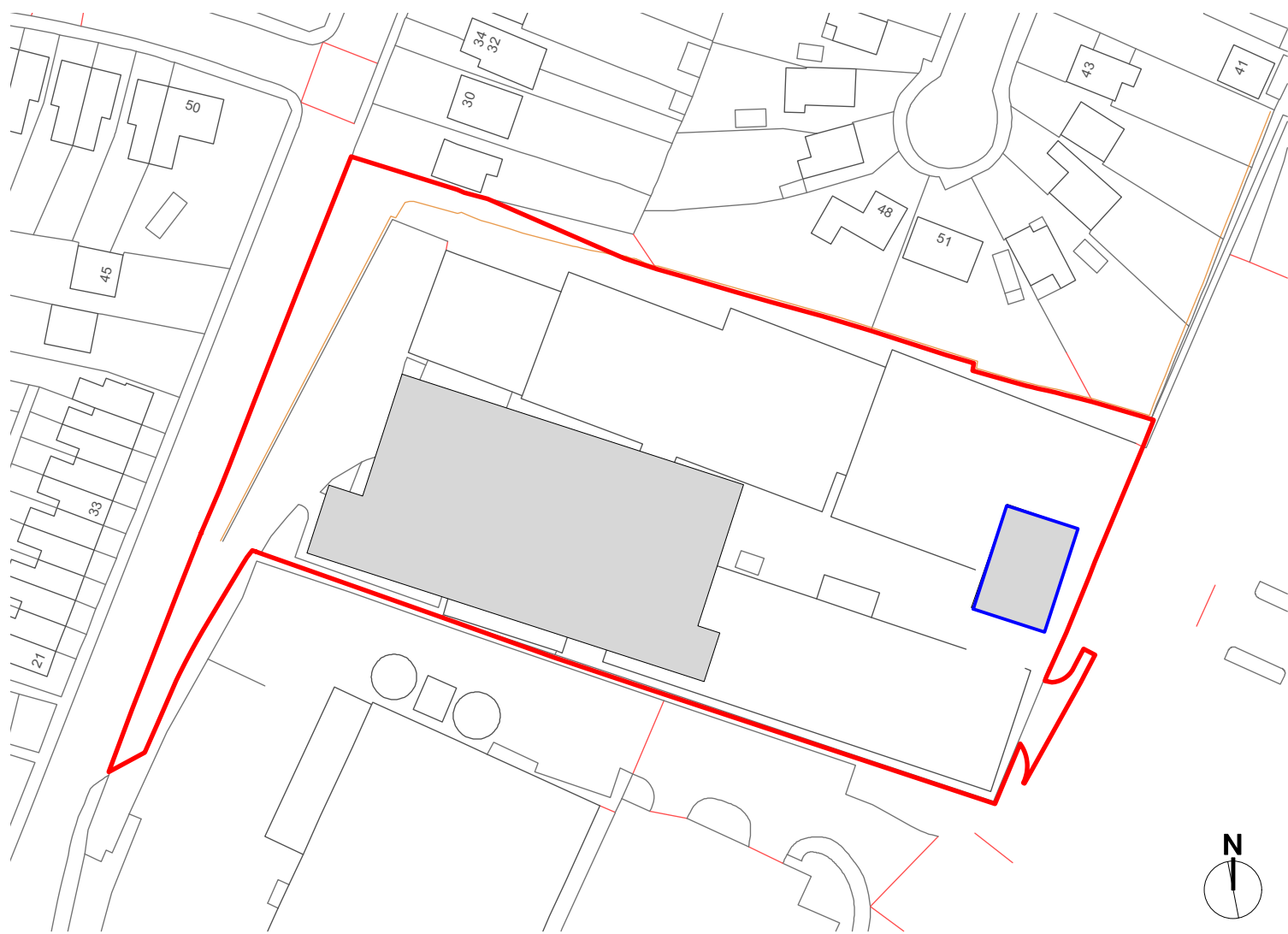
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

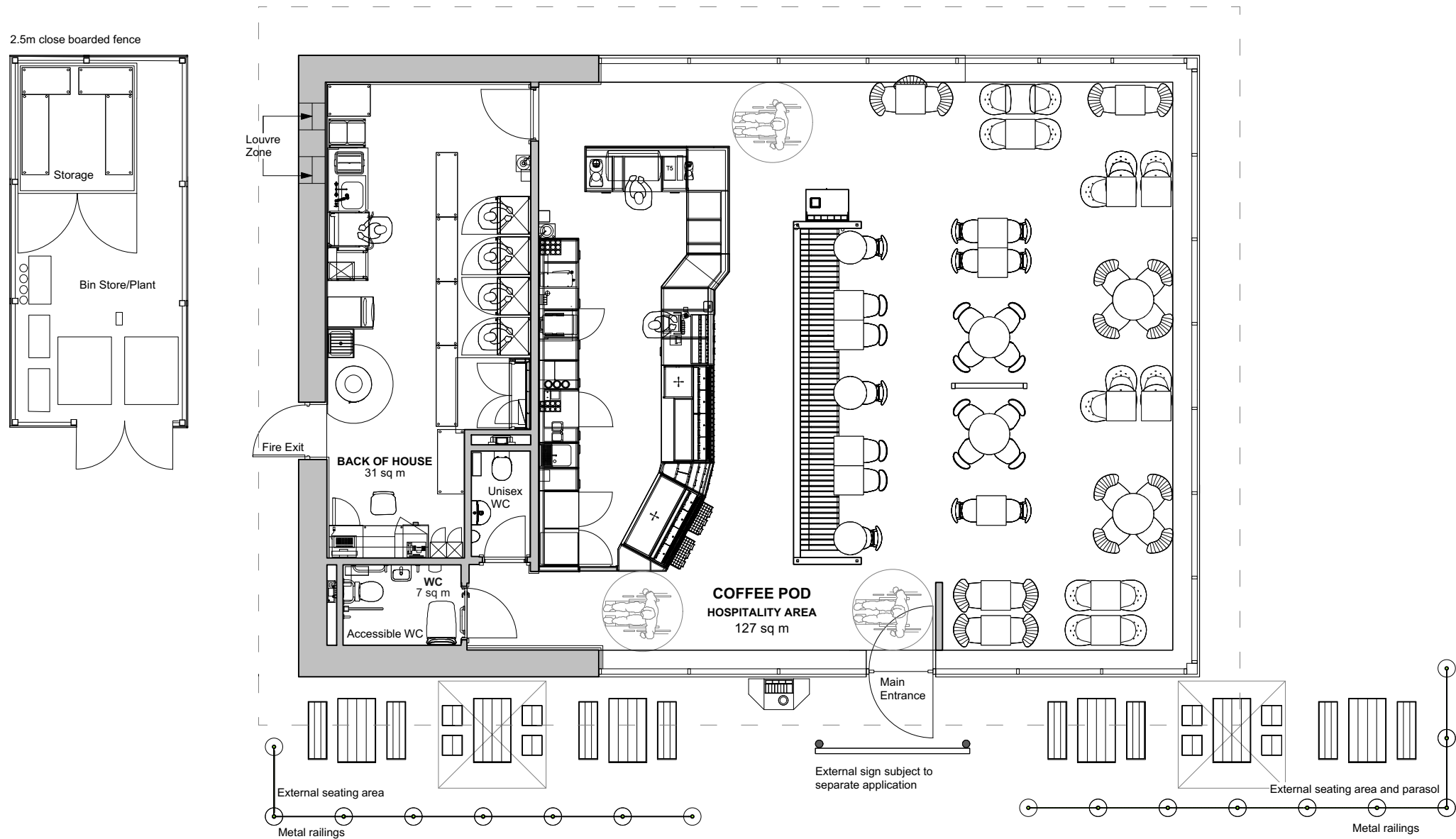


KEY PLAN

Notes

1. Ceramic tiling
2. Shopfront glazing
3. Louvres
4. External seating area
5. Powder coated aluminum fascia tray with internally illuminated signage
6. Close Boarded Fence to bin store
7. Fixed metal railings
8. Signage
9. Cycle shelter

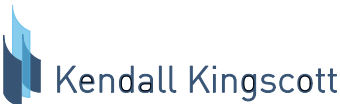
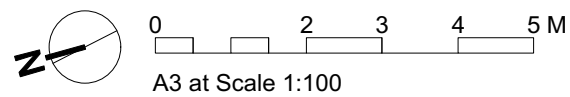




Proposed Store GEA	-	195 Sqm
Proposed Store GIA	-	177 Sqm

**NOTES -**

REFER TO DRG 170727-1400 FOR PROPOSED SITE PLAN  
170727-1501 FOR ELEVATIONS



Chartered Architects  
Chartered Building Surveyors  
Interior Designers  
CDM Co-ordinators

Glentworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk

Project  
ALDI Food Store and Coffee Shop  
Alder Road, Poole

Client  
Aldi Stores Ltd

Scale  
1:100

Paper Size  
A3

Filename  
170727-Planning.vwx

© Copyright. Do not scale this drawing.

P123/06/20 JKCMW Drawing Issue  
Rv. Date By Ap Note

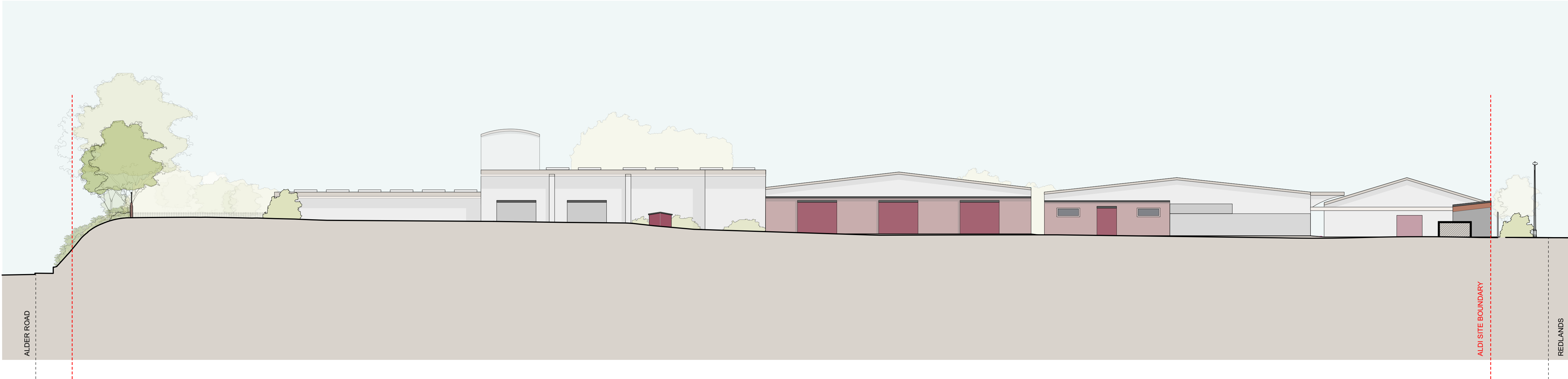
Drawing Title  
Floor Plan - Coffee Pod

Project No.	Drawing No.	Rev.
170727-1403	P1	
Date	Drawn	Checked
16/06/20	JKC	MW
Status	PLANNING	

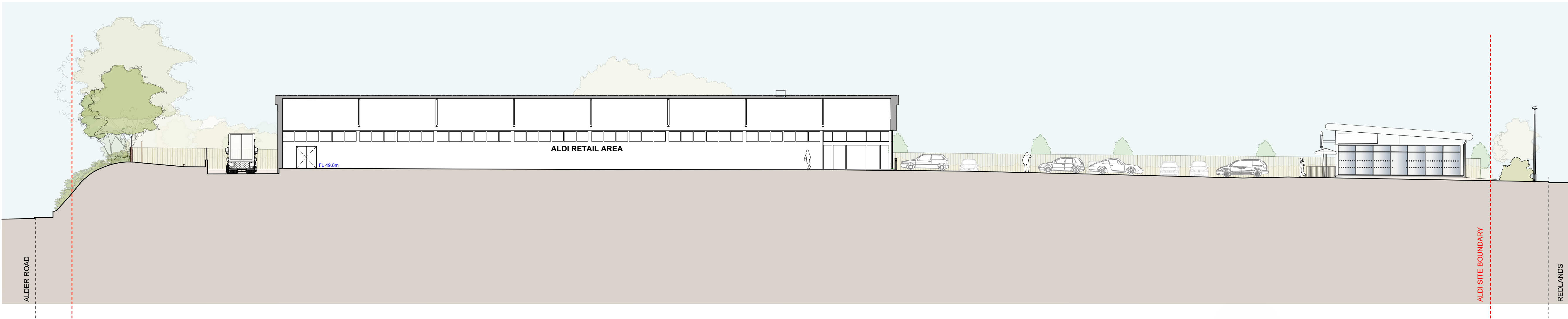
Check all dimensions and levels on site.

Only to be used on the site for which designed. The electronic transmission of designs/information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. will have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the said designs/information by the User is entirely the responsibility of the User and Kendall Kingscott Ltd. shall have no responsibility in respect thereof whatsoever.

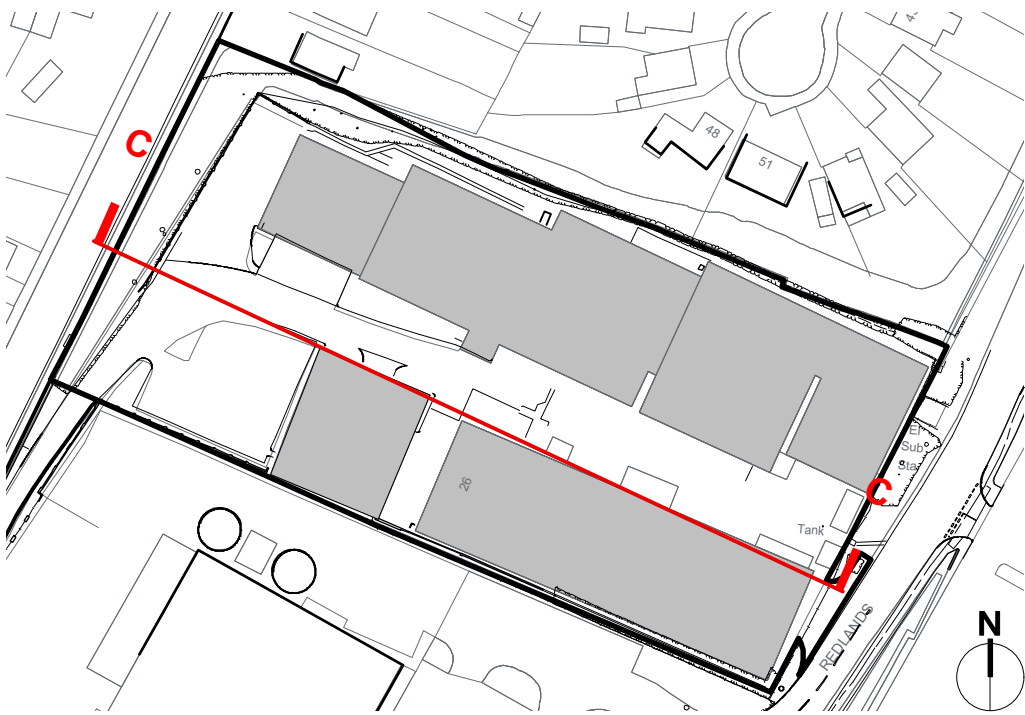




Existing Section C-C



Proposed Section C-C



Existing Key Plan



**Kendall Kingscott**

Chartered Architects  
Chartered Building Surveyors  
Interior Designers  
CDM Co-ordinators

Glentworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk

Project: **ALDI Food Store and Coffee Shop**  
Alder Road, Poole  
Client: **Aldi Stores Ltd**

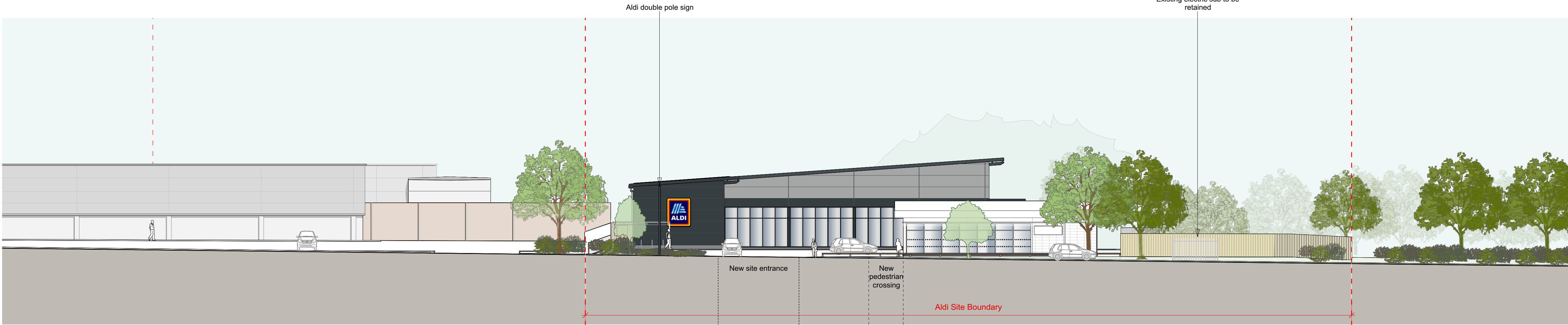
Scale: **1:200** Paper Size: **A1** Filename: **170727-Planning.vwx**  
© Copyright: Do not scale this drawing

Project No. **170727-1503** Drawing No. **P2**  
Rev. **16/06/20** JKC MW PLANNING  
Date Drawn Checked Status  
Rv. Date By Ap Note

Existing and Proposed Sections

Only to be used on the site for which designed. The electronic transmission of design information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. will have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the said design information by the User is entirely the responsibility of the User and Kendall Kingscott Ltd. shall have no responsibility to respect thereof whatsoever.



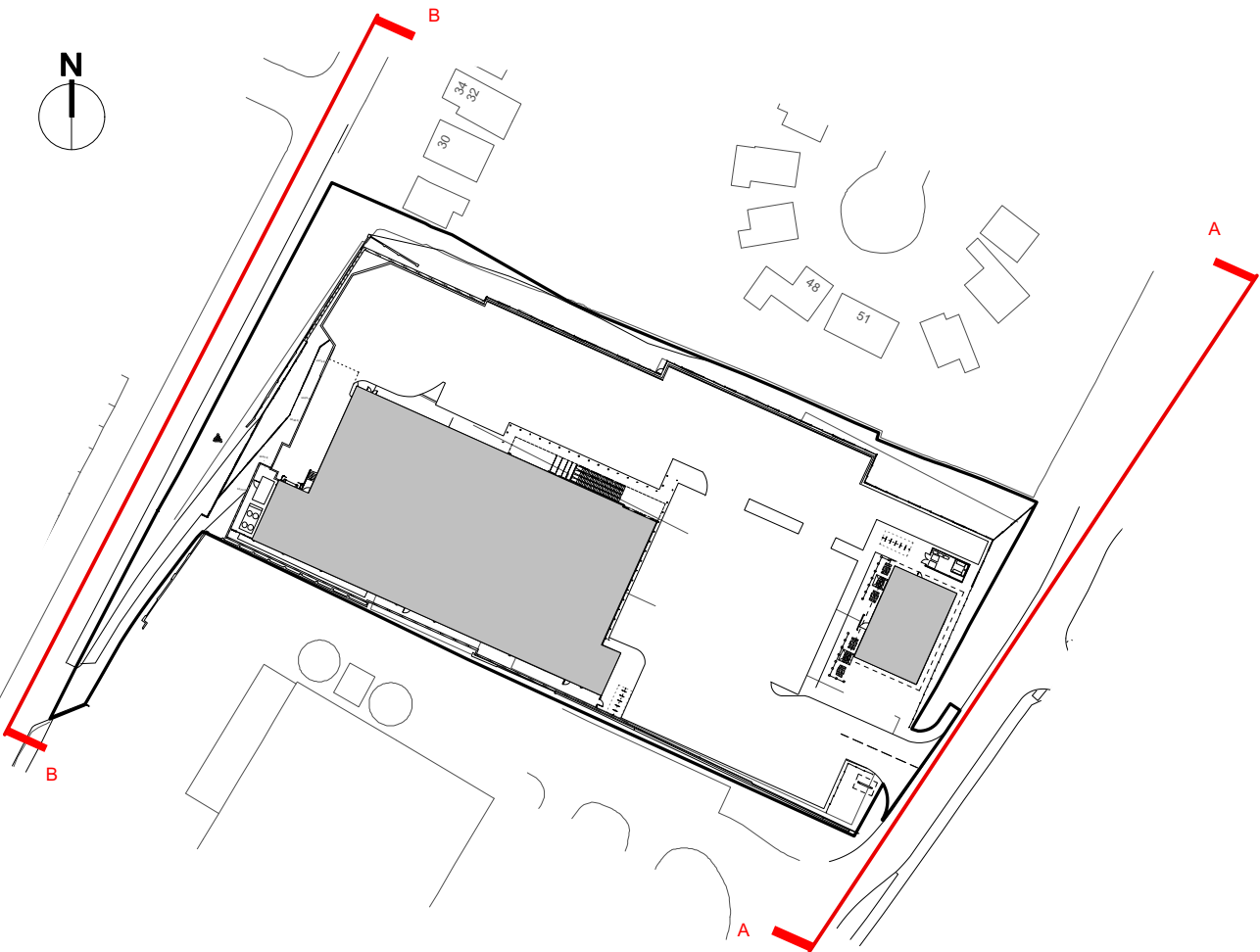


Proposed Elevation From Redlands A-A



Proposed Elevation From Alder Road B-B

0 10 15 20 25 30 35 M  
A1 at Scale 1:200



Key Plan



**Kendall Kingscott**

Chartered Architects  
Chartered Building Surveyors  
Interior Designers  
CDM Co-ordinators

Glentworth Court, Lime Kiln Close  
Stoke Gifford, Bristol BS34 8SR  
+44 (0)117 931 2062  
www.kendallkingscott.co.uk

Project: **ALDI Food Store and Coffee Shop Alder Road, Poole**  
Client: **Aldi Stores Ltd**

Scale: **1:200** Paper Size: **A1** Filename: **170727-Planning.vwx**  
© Copyright: Do not scale this drawing

P226/06/20 JKC MW confirmed  
P123/06/20 JKC MW Drawing Issue  
Rev. Date By Ap Note

Drawing Title: **Context Elevations**

Project No.	Drawing No.	Rev.
<b>170727-1502</b>	<b>P2</b>	

Date	Drawn	Checked	Status
<b>16/06/20</b>	<b>JKC</b>	<b>MW</b>	<b>PLANNING</b>

Check all dimensions and levels on site.

Only to be used on the site for which designed. The electronic transmission of design information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. will have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the said Design Information by the User is entirely the responsibility of the User and Kendall Kingscott Ltd. shall have no responsibility to respect thereof whatsoever.